

Addendum

Containing: Pages: 3

Addendum Number: 001

AD1.1.1,
AD1.2.1,
AD1.2.2,
A1.1.1,
A1.2.1,
A1.2.2,
I1.1.1,
I1.2.1,
I1.2.2

Drawings: -

Project Title:

Sunny Hill Nursing Home of Will County –
Maintenance Work

Schedules: -

Project #: 0161618.00

Addendum Issue Date: 11/14/2016

Contract Documents Issue Date: 11/04/2016

This addendum amends the drawings and specifications of the above referenced project and is hereby incorporated into the contract documents as part thereof.

PROJECT MANUAL:

1. Section 00300 BID FORM FOR STIPULATED SUM PROPOSAL, page 1.
 - a. Revised to add an Alternate Add line item.

DRAWINGS:

1. SHEET AD1.1.1 – Partial Lower Level Demolition Floor Plan – 1st Avenue
 - a. Detail 1 – See floor plan for additional work related to the removal of flooring and base and installation of new flooring and base in the Nurse Station, Charting, and Corridor for Alternate Add #1.
 - b. DEMO PLAN KEYNOTES – Added note as related to work described above.
 - c. General Demolition Notes 7, 8, 9, 10, 11, & 12. See revised notes for the description of work phasing and furniture moving.
2. SHEET AD1.2.1 – Partial Upper Level Demolition Floor Plan – 3rd Avenue
 - a. Detail 1 – See floor plan for additional work related to the removal of flooring and base and installation of new flooring and base in the Nurse Station, Charting, and Corridor for Alternate Add #1.
 - b. DEMO PLAN KEYNOTES – Added note as related to work described above.
 - c. General Demolition Notes 7, 8, 9, 10, 11, & 12. See revised notes for the description of work phasing and furniture moving.

3. SHEET AD1.2.2 – Partial Upper Level Demolition Floor Plan – 2nd Avenue

- a. Detail 1 – See floor plan for additional work related to the removal of flooring and base and installation of new flooring and base in the Nurse Station, Charting, and Corridor for Alternate Add #1.
 - b. DEMO PLAN KEYNOTES – Added note as related to work described above.
 - c. General Demolition Notes 7, 8, 9, 10, 11, & 12. See revised notes for the description of work phasing and furniture moving.
4. SHEET A1.1.1 – Partial Lower Level Floor Plan – 1st Avenue
- a. Detail 1 – See floor plan for additional work related to the removal of flooring and base and installation of new flooring and base in the Nurse Station, Charting, and Corridor for Alternate Add #1.
 - b. General Notes 13, 14, 15, 16, 17, & 18. See revised notes for the description of work phasing and furniture moving.
5. SHEET A1.2.1 – Partial Upper Level Floor Plan – 3rd Avenue
- a. Detail 1 – See floor plan for additional work related to the removal of flooring and base and installation of new flooring and base in the Nurse Station, Charting, and Corridor for Alternate Add #1.
 - b. General Notes 13, 14, 15, 16, 17, & 18. See revised notes for the description of work phasing and furniture moving.
6. SHEET A1.2.2 – Partial Upper Level Floor Plan – 2nd Avenue
- a. Detail 1 – See floor plan for additional work related to the removal of flooring and base and installation of new flooring and base in the Nurse Station, Charting, and Corridor for Alternate Add #1.
 - b. General Notes 13, 14, 15, 16, 17, & 18. See revised notes for the description of work phasing and furniture moving.
7. SHEET I1.1.1 – Partial Lower Level Interior Finish Plan – 1st Avenue
- a. Detail 3 – See floor plan for additional work related to the removal of flooring and base and installation of new flooring and base in the Nurse Station, Charting, and Corridor for Alternate Add #1.
 - b. General Notes 6 & 7. See revised notes for the description of work phasing and furniture moving.
 - c. KEYED NOTES – See added keyed note #4 for description of work for Alternate Add #1.
8. SHEET I1.2.1 – Partial Upper Level Interior Finish Plan – 3rd Avenue
- a. Detail 1 – See floor plan for additional work related to the removal of flooring and base and installation of new flooring and base in the Nurse Station, Charting, and Corridor for Alternate Add #1.
 - b. General Notes 6 & 7. See revised notes for the description of work phasing and furniture moving.
 - c. KEYED NOTES – See added keyed note #4 for description of work for Alternate Add #1.

9. SHEET I1.2.2 – Partial Upper Level Interior Finish Plan – 2nd Avenue

- a. Detail 2 – See floor plan for additional work related to the removal of flooring and base and installation of new flooring and base in the Nurse Station, Charting, and Corridor for Alternate Add #1.
- b. General Notes 6 & 7. See revised notes for the description of work phasing and furniture moving.
- c. KEYED NOTES – See added keyed note #4 for description of work for Alternate Add #1.

SECTION 00300 - BID FORM FOR STIPULATED SUM PROPOSAL

TO: County of Will 302 N. Chicago Street. Joliet, IL. 60432

The Undersigned, having fully and completely examined the Bidding Documents titled, "**Sunny Hill Nursing Home of Will County Maintenance Work**", and having visited the site and examined the existing conditions affecting the cost of the Work, including applicable codes, regulations and statutes and having full knowledge of the conditions and requirements thereof, hereby proposes and agrees to furnish all labor, materials, equipment, bond costs, appliances, and any other incidentals related to the completion of the Work, and to perform all operations necessary to complete the **Work** required by said Bidding Documents in full compliance with the conditions and requirements of the bidding documents as follows:

BASE BID: Provide all labor, materials, equipment, bond costs, appliances, and all other items required and incidentals related to the completion of the Work as required for all work as set forth in the Bidding Documents for **Sunny Hill Nursing Home of Will County Maintenance Work**, for the Stipulated Sum of:

Bid Breakdown:

A. Base Bid - DOLLARS (\$))

B. Allowance – Include in the **BASE BID** the lump sum of **\$15,000**
for the rework or correction of unknown and \ or concealed conditions.

C. Alternat No. ONE: (ADD) The work to remove the flooring and base and replace with new flooring and base in the three (3) nurse stations on 1st, 2nd, and 3rd Avenues.

(ADD) DOLLARS (\$)

D. Addendum Receipt: Receipt of the following addenda to the bidding documents and attachments is hereby acknowledged

a. No _____, dated _____

b. No _____, dated _____

c. No _____, dated _____

E. TOTAL STIPULATED SUM **DOLLARS (\$)** (Total of lines A, B, &C)

Bid Security: Bid security, in the amount of ten percent (10%) of the base bid amount, in the form of _____ (bid bond, certified check, or cashier's check), as required by the bidding documents, is submitted herewith, with each bid.

Prime Contractor Certifications: A completed prime contractor certification (Form 720ILCS 5/33E), as required by the bidding documents, is submitted with this bid.

The certification herein are a material part of the project. Failure to make such certification or falsely making certification will lead to the rejection of that bid.

It is understood and agreed that, if selected, should the undersigned fail to enter into a contract with the Owner or furnish acceptable contract security, (Performance and Payment Bonds acceptable to the owner), within the specified time and manner, the bid deposit that be retained by the owner as liquidated damages but not as a penalty. As it impossible to determine precisely the exact amount of damages the Owner will sustain in such instance, it is agreed that the bid deposit is a fair and equitable estimate of such damages.

The Undersigned acknowledges, understands and agrees to comply with and be bound by the Instructions to Bidders issued for this Work, and all Division 00 Bidding Requirements and Contract Forms issued for this Work.

The undersigned agrees to observe the Fair Employment Practices Commission Rules pertaining to Equal Employment Opportunity and comply with the Illinois Prevailing Wage Act, 820 IL CS 130/1 et seq. and use the current Wage Determination as determined by the Illinois Department of Labor, Conciliation, and Mediation Division. These wages will remain in effect until superseded by a new determination.

Sub-Contractors: If awarded a Contract for the Work proposed herein, and any modifications thereof, the Undersigned proposes to employ the following Sub-Contractors for performance of portions of the Work other than that to be performed by his own forces:

Description of Work	I.Name	I.Address
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

Certification: The Undersigned Bidder certifies that it has not been convicted of bribery or attempting to bribe an officer or employee of the State of Illinois, or any unit of government in the State of Illinois, nor has the Bidder made an admission of guilt of such conduct which is a matter of record, nor has an official, agent, or employee of the Bidder committed bribery or attempted bribery on behalf of the Bidder and pursuant to the direction or authorization of a responsible official of the Bidder. The Undersigned Bidder further certifies that it is not barred from bidding on this contract as a result of a conviction for the violation of state laws prohibiting bid-rigging or bid-rotating.

Bidder Identification and Signature:

IF THE BIDDER IS AN INDIVIDUAL

Name of Bidder: _____
Signature of Bidder: _____
Business Address: _____

Phone Number: _____

IF THE BIDDER IS A PARTNERSHIP

Firm Name: _____
Signature of General Partner: _____
Business Address: _____

Phone Number: _____

SEAL:

IF THE BIDDER IS A CORPORATION

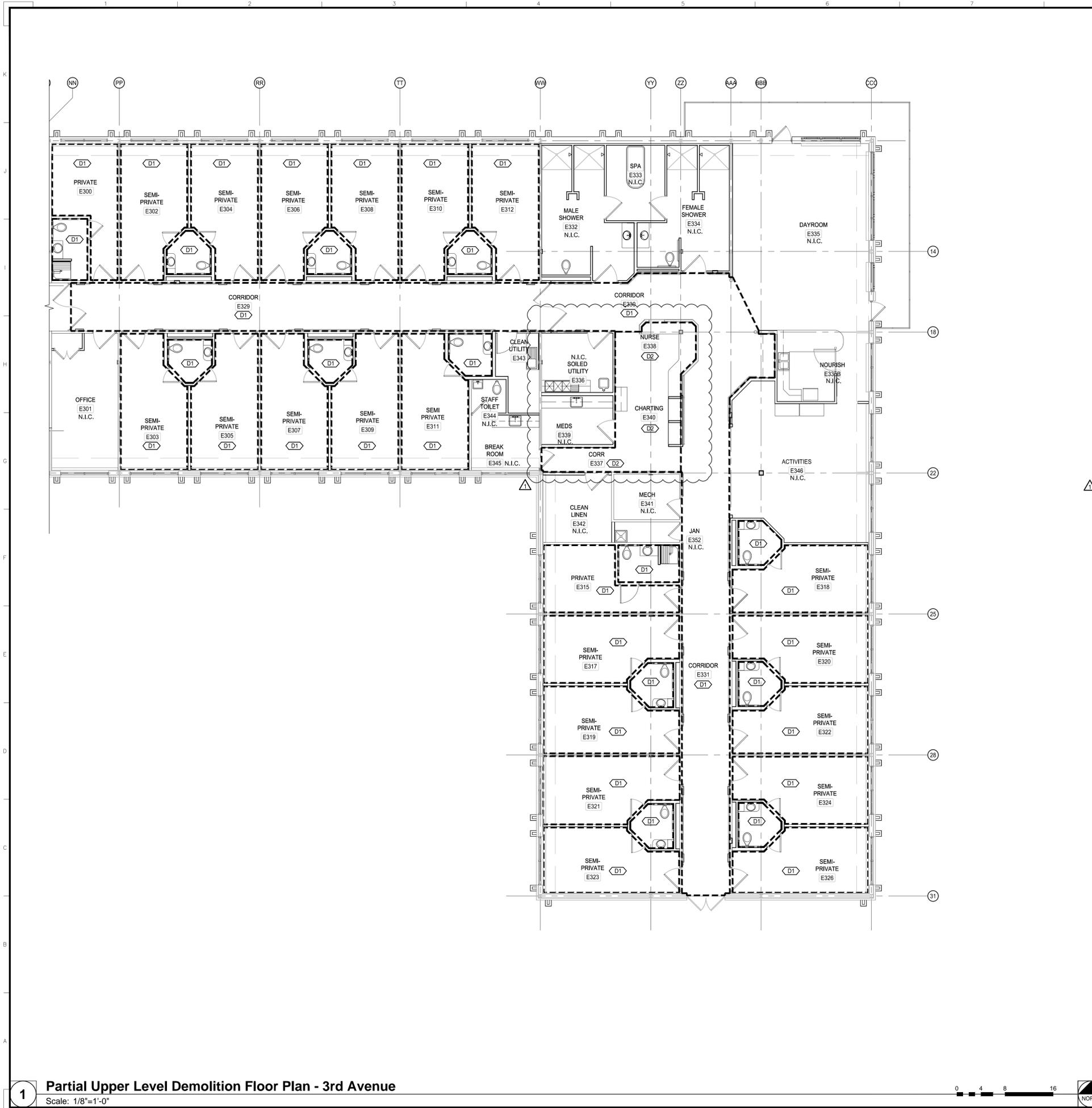
Corporation Name: _____
Signature (must be an officer other than
Secretary): _____
Business Address: _____

Phone Number: _____
President: _____
Secretary: _____
Treasurer: _____

CORPORATE SEAL:

END OF SECTION 00300

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General Demolition Notes

1. THIS PROJECT AND FACILITY IS TO REMAIN IN COMPLIANCE WITH ALL ASPECTS OF THE LIFE SAFETY CODE DURING THE COURSE OF CONSTRUCTION INCLUDING, BUT NOT LIMITED TO EXISTING, FIRE ALARM SYSTEM (OR SYSTEMS), SMOKE/FIRE DETECTION SYSTEM (OR SYSTEMS), SPRINKLER SYSTEM (OR SYSTEMS), ETC.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, MATERIALS, CONSTRUCTION METHODS AND DIMENSIONS PRIOR TO COMMENCING THE WORK. CONTRACTOR SHALL VISIT THE SITE AND EXAMINE EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS. BIDS SHALL INCLUDE PROVISIONS FOR A COMPLETE JOB BASED ON THE INTENT SHOWN ON THE DRAWINGS. FIELD VERIFY ALL DIMENSION AND CONDITIONS AND REPORT ANY DISCREPANCIES TO THE OWNER.
3. PROTECT ALL FINISH ITEMS TO REMAIN (WALLS, TRIM, FINISHED WOOD, GLASS, ETC.) FROM DAMAGE DURING CONSTRUCTION.
4. ALL SELECTIVE DEMOLITION SHALL BE CLOSELY COORDINATED W/ CONSTRUCTION SEQUENCING AND OWNERS ONGOING USE OF THE FACILITY. NO EXITS SHALL BE BLOCKED OR IMPAIRED AT ANY TIME. WORK IN THE CORRIDORS SHALL BE COORDINATED W/ OWNER TO ASSURE ALL RESIDENTS & EMPLOYEES HAVE ACCESS TO THE CORRIDOR AT ALL TIMES. DO NOT BLOCK ACCESS TO RESIDENTS' ROOMS.
5. PATCH WALLS AND FLOORS TO MATCH EXISTING CONSTRUCTION AS REQUIRED BY DEMOLITION AND NEW CONSTRUCTION.
6. EXISTING CONSTRUCTION SHOWN DASHED IS TO BE DEMOLISHED. COORDINATE WITH NEW CONSTRUCTION.
7. 1ST AVENUE ONLY - OWNER WILL RELOCATE ALL RESIDENTS AND STAFF FROM 1ST AVENUE DURING CONSTRUCTION. ALL FURNITURE, TOILETS AND PERSONAL BELONGINGS WILL BE REMOVED FROM AND REINSTALLED AFTER COMPLETION IN 1ST AVENUE BY OWNER. THE 1ST AVENUE SLAB ON GRADE WILL REQUIRE A MOISTURE MITIGATION PRODUCT TO BE INSTALLED THROUGHOUT THE ENTIRE CORRIDOR.
8. 2ND AND 3RD AVENUE WORK: CONTRACTOR WILL BE GIVEN FOUR (4) ROOMS IN EACH AVENUE AT A TIME, EIGHT (8) TOTAL ROOMS. ALL WORK MUST BE COMPLETED BEFORE MOVING TO THE NEXT GROUP OF ROOMS. COORDINATE SCHEDULING WITH OWNER. RESIDENT ROOMS WILL HAVE THE FURNITURE REMOVED BY THE OWNER.
9. COORDINATE TIME OF DEMOLITION WORK WITH OWNER TO ALLOW FOR MINIMUM DISRUPTION TO RESIDENTS REMAINING ON AVENUE DURING CONSTRUCTION. TYPICAL FOR 2ND AND 3RD AVENUES.
10. ALL WORK IN EACH RESIDENT ROOM MUST BE COMPLETED PRIOR TO BEGINNING WORK IN ANOTHER GROUP OF ROOMS. COORDINATE WITH OWNER. TYPICAL FOR 2ND, AND 3RD AVENUES.
11. CONTRACTOR TO NOTIFY OWNER 48 HOURS, MINIMUM, IN ADVANCE PRIOR TO STARTING ANY WORK.
12. 2ND AND 3RD AVENUES - ACCESS TO OCCUPIED RESIDENT ROOMS AND EMERGENCY EXIT DOORS MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. COORDINATE WITH OWNER.

DEMO PLAN KEYNOTES

KEYNOTE	DESCRIPTION
D1	REMOVE EXISTING VINYL FLOORING, MASTIC AND BASE. PATCH AND REPAIR FLOOR TO CONDITION NECESSARY TO RECEIVE NEW FLOORING. SEE NOTES FOR FINISH AND MATERIAL SELECTION.
D2	ALTERNATE ADD #1 - REMOVE EXISTING FLOORING, MASTIC, AND BASE IN NURSE STATION, CHARTING, AND CORRIDOR BEHIND NURSE STATION. PATCH AND REPAIR FLOOR TO CONDITION NECESSARY TO RECEIVE NEW FLOORING. SEE INTERIORS

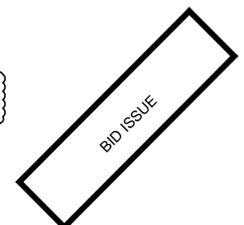


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ISSUE:
Date: Description:
1 11/11/2016 ADDENDUM ONE



PROJECT:
COUNTY OF WILL

SUNNY HILL NURSING HOME OF WILL COUNTY MAINTENANCE WORK

JOLIET, IL

Date: 11/4/2016
Design/Drawn: AW
Reviewed: BMK
Book No.: - Field: -

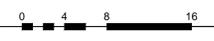
SHEET TITLE:
Partial Upper Level Demolition Floor Plan 3rd Avenue

SHEET NUMBER:

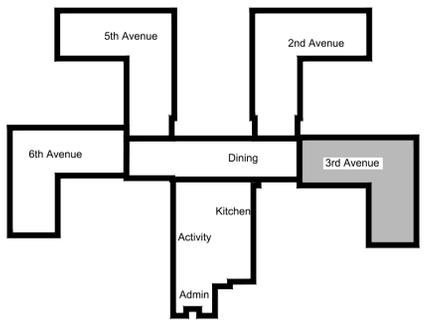
AD1.2.1

Project No.: 0161618.00

1 Partial Upper Level Demolition Floor Plan - 3rd Avenue
Scale: 1/8"=1'-0"



Key Plan
Scale: NTS



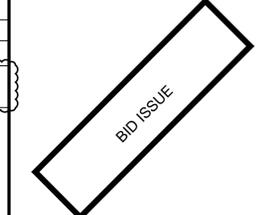


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1 11/11/2016 ADDENDUM ONE



PROJECT:
COUNTY OF WILL

SUNNY HILL NURSING HOME OF WILL COUNTY MAINTENANCE WORK

JOLIET, IL

Date: 11/4/2016
Design/Drawn: AW
Reviewed: BMK
Book No.: - Field: -

SHEET TITLE:
Partial Upper Level Demolition Floor Plan 2nd Avenue

SHEET NUMBER:

AD1.2.2

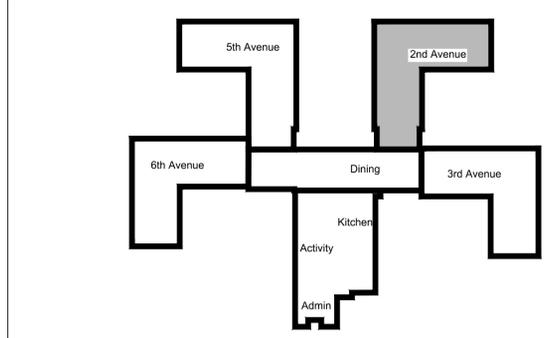
Project No.: 0161618.00

General Demolition Notes

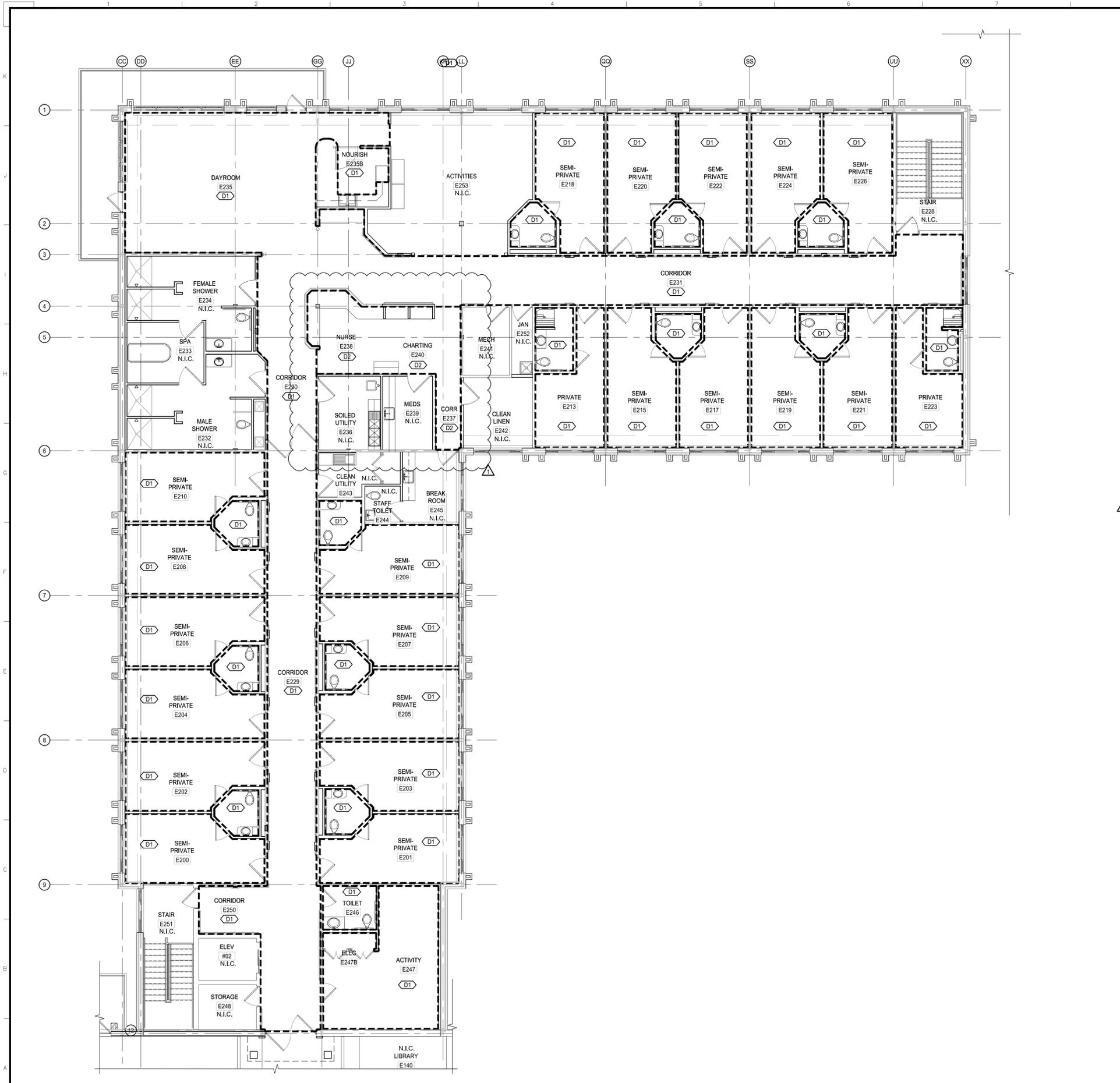
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DEMO PLAN KEYNOTES

KEYNOTE	DESCRIPTION
D1	REMOVE EXISTING VINYL FLOORING, MASTIC AND BASE, PATCH AND REPAIR FLOOR TO CONDITION NECESSARY TO RECEIVE NEW FLOORING - SEE INTERIORS FOR FINISH AND MATERIAL SELECTION.
D2	ALTERNATE ADD #1 - REMOVE EXISTING FLOORING, MASTIC, AND BASE IN NURSE STATION, CHARTING, AND CORRIDOR BEHIND NURSE STATION. PATCH AND REPAIR FLOOR TO CONDITION NECESSARY TO RECEIVE NEW FLOORING. SEE INTERIORS.



Key Plan
Scale: NTS



1 Partial Upper Level Demolition Floor Plan - 2nd Avenue
Scale: 1/8"=1'-0"

Xref files: \\0120891-05-no-key plan upper level | ... | 11/11/2016 1:05

Ref: \\0120691.06-va upper level floor plan | ...0120691.06-va keynotes - floor plan | ...0120691.06-va key plan upper level |
 I:\work\11\11\2016\0120691.06 - Sunny Hill Nursing Home - floor And Resident Room Maintenance\dwg\sheds - Res-scope Set\0120691.06 - A102 Upper Level Floor Plan.dwg | 11/17/2016 1:26 PM |



General Notes

1. THIS PROJECT AND FACILITY IS TO REMAIN IN COMPLIANCE WITH ALL ASPECTS OF THE LIFE SAFETY CODE DURING THE COURSE OF CONSTRUCTION INCLUDING, BUT NOT LIMITED TO EXITING, FIRE ALARM SYSTEM (OR SYSTEMS), SMOKE/FIRE DETECTION SYSTEM (OR SYSTEMS), SPRINKLER SYSTEM (OR SYSTEMS), ETC.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, MATERIALS, CONSTRUCTION METHODS AND DIMENSIONS PRIOR TO COMMENCING THE WORK.
3. ALL DIMENSIONS ARE TO FINISHED FACE UNLESS NOTED OTHERWISE.
4. IT IS THE RESPONSIBILITY OF EACH CONTRACTOR TO PROVIDE COMPLETE WORKING SYSTEMS FOR ALL NEW ELEMENTS.
5. ALL CONTRACTORS SHALL PROVIDE NEW, UNDAMAGED MATERIALS UNLESS OTHERWISE SPECIFIED.
6. INSTALL ALL WORK IN ACCORDANCE WITH CURRENT APPLICABLE CODES, PUBLISHED STANDARDS, AND ACCEPTABLE CONSTRUCTION STANDARDS.
7. ALL WORK SHALL BE PLUMB AND LEVEL UNLESS NOTED OTHERWISE.
8. EACH CONTRACTOR SHALL COORDINATE THEIR WORK WITH ALL OTHER TRADES.
9. DO NOT SCALE DRAWINGS TO DETERMINE DIMENSIONS. IF A REQUIRED DIMENSION IS NOT INDICATED, CONTACT THE ARCHITECT FOR DETERMINATION.
10. PROTECT ALL FINISH ITEMS TO REMAIN (WALLS, TRIM, FINISHED WOOD, GLASS, ETC.) FROM DAMAGE DURING CONSTRUCTION.
11. ALL CONSTRUCTION SHALL BE CLOSELY COORDINATED W/ OWNERS ONGOING USE OF THE FACILITY. NO EXITS SHALL BE BLOCKED OR IMPAIRED AT ANY TIME. WORK IN THE CORRIDORS SHALL BE COORDINATED W/ OWNER TO ASSURE ALL RESIDENTS & EMPLOYEES ARE REMOVED FROM AREA DURING CONSTRUCTION.
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13. FURNITURE REMOVAL AND INSTALLATION IS BY OWNER.
14. 1ST AVENUE ONLY - FLOORING REPLACEMENT REQUIRES THE RELOCATION OF ALL RESIDENTS FROM 1ST AVENUE DURING REMOVAL AND NEW INSTALLATION. ALL FURNITURE, TOILETS AND PERSONAL BELONGINGS WILL BE REMOVED FROM AND REINSTALLED AFTER COMPLETION IN 1ST AVENUE BY OWNER. THE 1ST AVENUE SLAB ON GRADE WILL REQUIRE A MOISTURE MITIGATION PRODUCT TO BE INSTALLED THROUGHOUT THE ENTIRE CORRIDOR.
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17. FLOORING REPLACEMENT WILL CONSIST OF CORRIDORS, DAY ROOM (1ST AND 2ND AVENUE ONLY), PUBLIC TOILET, ACTIVITY ROOM, NURSING AND RESIDENT ROOMS AND TOILETS. OWNER WILL MOVE ALL FURNITURE AS NECESSARY FOR WORK.
18. 2ND AND 3RD AVENUES - ACCESS TO OCCUPIED RESIDENT ROOMS AND EMERGENCY EXIT DOORS NEEDS TO BE MAINTAINED DURING CORRIDOR FLOORING REPLACEMENT. COORDINATE WITH OWNER.

PLAN KEYNOTES

KEYNOTE	DESCRIPTION
1	NEW RESILIENT VINYL FLOOR AND VINYL BASE - SEE INTERIORS. PREPARE CONCRETE FLOOR AS NECESSARY FOR PROPER INSTALLATION OF FLOORING. REFER TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
2	PREPARE CORRIDOR CONCRETE SLAB AS NECESSARY TO RECEIVE NEW MOISTURE MITIGATION COATING, ENTIRE 1ST AVENUE CORRIDOR TO RECEIVE COATING, REFER TO FLOORING AND MITIGATION MANUFACTURER'S WRITTEN INSTRUCTIONS FOR PROPER APPLICATION AND COMPATIBILITY. FLOORING CONTRACTOR IS RESPONSIBLE FOR SELECTION OF PRODUCT AND COMPATIBILITY WITH SPECIFIED FLOORING.

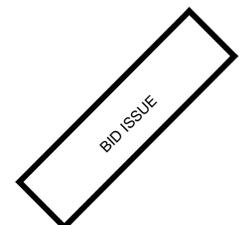


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PROJECT:
COUNTY OF WILL

SUNNY HILL NURSING HOME OF WILL COUNTY MAINTENANCE WORK

JOLIET, IL

Date: 11/4/2016
Design/Drawn: AW
Reviewed: BMK
Book No.: - Field: -

SHEET TITLE:
Partial Upper Level Floor Plan 3rd Avenue

SHEET NUMBER:

A1.2.1

Project No.: 0161618.00

1 Partial Upper Level Floor Plan - 3rd Avenue
Scale: 1/8"=1'-0"



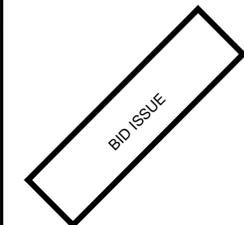


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PROJECT:
COUNTY OF WILL

SUNNY HILL NURSING HOME OF WILL COUNTY MAINTENANCE WORK

JOLIET, IL

Date: 11/4/2016

Design/Drawn: JDP

Reviewed: BMK

Book No.: - Field: -

SHEET TITLE:
Partial Lower Level Interior Finish Plan 1st Avenue

SHEET NUMBER:

11.1.1

Project No.: 0161618.00

GENERAL NOTES

1. BASIS OF DESIGN PRODUCT: WHERE SPECIFICATIONS OR DRAWINGS NAME A PRODUCT AND MANUFACTURER, PROVIDE THE SPECIFIED PRODUCT / MANUFACTURER OR A COMPARABLE PRODUCT BY ANOTHER INDUSTRY STANDARD MANUFACTURER. DRAWINGS AND SPECIFICATIONS INDICATE SIZES, PROFILES, DIMENSIONS, AND OTHER CHARACTERISTICS THAT ARE BASED ON THE PRODUCT NAMED. INSTALL PRODUCT COMPLETE WITH ALL REQUIRED ACCESSORIES IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, INSTRUCTIONS AND DETAILS.
2. ALL CONTRACTORS TO FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ORDER AND INSTALL OF SPECIFIED PRODUCT(S).
3. ALL LOCATIONS WHERE FLOORING CHANGES MATERIAL SHALL RECEIVE A TRANSITION OR REDUCER STRIP.
4. DISSIMILAR FLOOR MATERIALS SHALL MEET UNDER CENTER LEAF OF DOOR WHEN IN CLOSED POSITION UNLESS NOTED OTHERWISE.
5. REMARKS COLUMN ON PRODUCT FINISH SCHEDULE INDICATES GENERAL COMMENTS ONLY. SEE INTERIOR FINISH PLANS AND SPECIFICATIONS FOR LOCATIONS AND DETAILS.
6. FLOORING REPLACEMENT WORK IN 2ND AND 3RD AVENUE RESIDENT ROOMS AND RESIDENT TOILET ROOMS TO OCCUR IN FOUR RESIDENT ROOMS AT A TIME, IN EACH WING. ALL WORK MUST BE COMPLETED BEFORE MOVING TO THE NEXT SET OF ROOMS. COORDINATE SCHEDULING WITH OWNER. OWNER WILL REMOVE ALL TOILET AND FURNITURE. WINGS WILL BE OCCUPIED BY OWNER DURING THE WORK. CONTRACTOR MUST ALWAYS LEAVE 1/2 OF CORRIDOR ACCESSIBLE TO OWNER.
7. 1ST AVENUE - OWNER WILL RELOCATE ALL RESIDENTS AND STAFF FROM THE AVENUE. CONTRACTOR TO COMPLETE ALL WORK IN 1ST AVENUE BEFORE BEGINNING ANY WORK IN 2ND OR 3RD AVENUES. OWNER WILL REMOVE ALL FURNITURE AND ALL TOILETS AND REPLACE AFTER FLOORING WORK IS COMPLETE.

KEYED NOTES

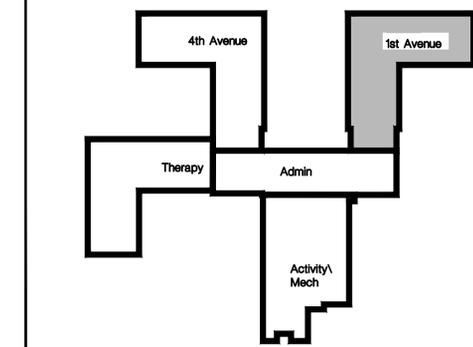
1. ALL EXISTING RESIDENT ROOMS AND RESIDENT TOILET ROOMS IN 1ST, 2ND AND 3RD AVENUES TO RECEIVE NEW LUXURY VINYL TILE FLOORING LVT-2 AND WALL BASE RES-1. ALL OTHER INTERIOR FINISHES TO BE PROTECTED AND REMAIN. SEE FINISH PLANS FOR LOCATIONS AND DETAILS.
2. 1ST AVENUE DAYROOM E135, TOILET E146, ACTIVITY ROOM E147, ELEC E147B, CORRIDORS AND 2ND AVENUE DAYROOM E235, TOILET E246, ACTIVITY ROOM E247, ELEC E247B AND CORRIDORS TO RECEIVE NEW LUXURY VINYL FLOORING LVT-1 AND WALL BASE MWB-1. ALL OTHER INTERIOR FINISHES TO BE PROTECTED AND REMAIN. SEE FINISH PLANS FOR LOCATIONS AND DETAILS.
3. 2ND AND 3RD AVENUE CORRIDORS TO RECEIVE NEW LUXURY VINYL TILE LVT-1 WITH ACCENT INSETS OF LVT-2 AND LVT-3 AND WALL BASE MWB-1. ALL OTHER INTERIOR FINISHES TO BE PROTECTED AND REMAIN. SEE FINISH PLANS FOR LOCATIONS AND DETAILS.
4. ALTERNATE ADD #1 - INSTALL NEW FLOORING AND BASE PER THE FINISH SCHEDULE IN THE NURSE STATION, CHARTING AREA, AND CORRIDOR.

SYMBOL LEGEND

	CORNER / END WALL GUARDS
	WALL FINISH
	WALL BASE FINISH
	ACCENT WALL INDICATOR
	FLOOR FINISH
	CASEWORK COUNTER / TRANSACTION TOP FINISH
	CASEWORK BASE AND UPPER CABINET FINISH
	FLOOR FINISH TRANSITION
	FLOOR PATTERN DIRECTION
	ALIGN FLOOR MATERIAL TO ADJACENT ITEM

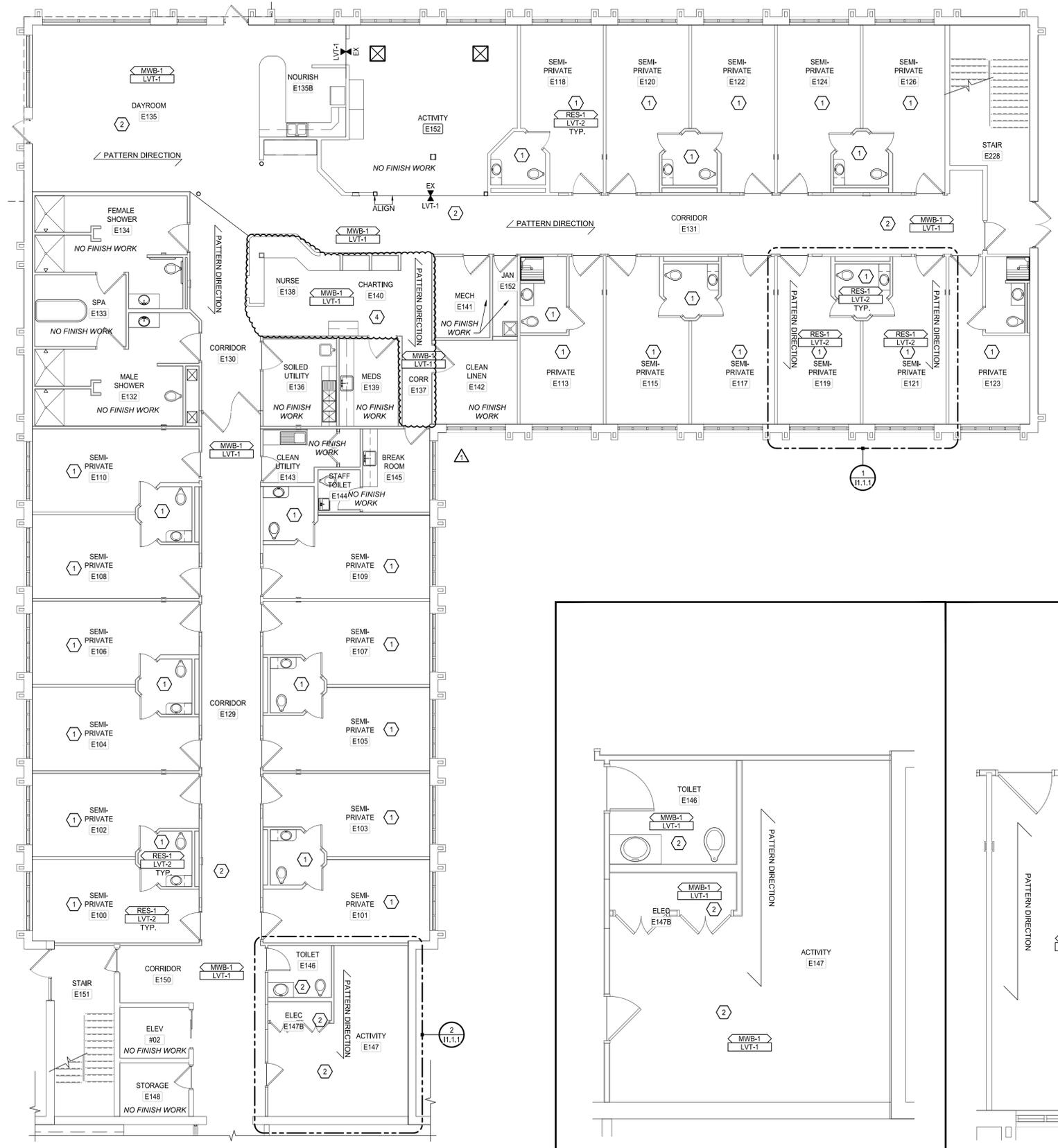
PRODUCT ABBREVIATIONS

CG = CORNER GUARD	MWB = MOLDED WALL BASE
CH = CHAIR RAIL	PNT = PAINT
CPT = CARPET	RES = RESILIENT WALL BASE
CS = CULTURED STONE	RS = RIGID SHEET
CT = CERAMIC TILE	SC = SEALED CONCRETE
DF = DOOR FRAME GUARD	SS = SOLID SURFACE
EX = EXISTING	SST = STAINLESS STEEL SHEET
EW = END WALL	SSV = SPECIALTY SHEET VINYL
FRP = FIBERGLASS REINFORCED PANEL	SV = SHEET VINYL
HR = HANDRAIL	VET = VINYL ENHANCED TILE
LAM = PLASTIC LAMINATE	VWC = VINYL WALL COVERING
LVT = LUXURY VINYL TILE	WLK = WALK-OFF CARPET



Lower Level Key Plan

Scale: Not To Scale



Partial Lower Level Interior Finish Plan - 1st Avenue

Scale: 1/8" = 1'-0"

1st Avenue Toilet E146 Activity E147 and Elec. E147B

Scale: 1/4" = 1'-0"

Resident Room and Resident Toilet Rooms Typical - 1st, 2nd & 3rd Avenues

Scale: 1/4" = 1'-0"

Xref File: \\072059\06-14-lower level floor plan | \072059\06-14-1st ave plan lower level | Sheet 11.1.1 Partial Lower Level Interior Finish Plan - Sunny Hill Nursing Home - Roof and Resident Room Maintenance\DWG\Sheets - Re-locate Sun\072059_06_11_Lower Level Interior Finish Plan.dwg | 11/14/2016 1:28 PM |

